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## **Executive Plaza Plan**

Executive Plaza encompasses the block bounded by Touhy Avenue, Washington Avenue and Northwest Highway. The rear yards of the single family residences on Berry Parkway form the eastern boundary of this area. It contains eight office buildings that were constructed in the late 1950s into the 1960s. The area serves as a transition from the Central Business District to single family residences to the north and east.

### **Improvement and Development Considerations**

The following conditions and characteristics will influence opportunities for improvement and development within Executive Plaza.

- **Size and configuration.** Executive Plaza, which is trapezoidal in shape, contains approximately 16.7 acres (726,000 square feet). The site is flat. There is a storm water detention area in the east, central portion of the site.
- **Existing uses.** Executive Plaza has eight office buildings and associated surface parking areas. As noted above, there is a storm water detention area on the site. This area was developed in the late 1950s and early 1960s and at the time considered a high quality suburban office park. Prior to the present use, it was owned by the Catholic Church (Sisters of the Holy Family of Nazareth).
- **Surrounding uses.** Executive Plaza is located on the eastern edge of the Central Business District. It acts as a gateway into Park Ridge and is near the border with Chicago. Single family residences are located to the north and east of the area. F. M. Global and St. Paul of the Cross Church are located to the southwest. Small office uses are located west of the Executive Plaza along Washington Avenue.
- **Zoning.** This area is zoned O-1 Office District, which permits office uses. The office district allows a limited number of uses closely related to offices.
- **1996 Comprehensive Plan.** The 1996 Plan designates this as office. The Plan assumes that the current office uses will be maintained.
- **2002 Uptown Plan.** The Uptown Plan, approved as an amendment to the Comprehensive Plan, also shows this area as an in-town office park.
- **Traffic access and circulation.** Executive Plaza has excellent vehicular accessibility. It has frontage along Touhy Avenue and Northwest Highway, both arterial streets, and Washington Avenue, a collector street. Both Touhy and Northwest are state routes and carry large traffic volumes. Washington serves as a significant travel route into the residential area to the north.

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- Pedestrian facilities and amenities. Touhy Avenue is not a “pedestrian friendly” street and does not provide a linkage with Uptown and adjacent areas. Northwest Highway, is slightly more “pedestrian friendly” than Touhy Avenue and, provides an important link between the offices in this area and the commercial uses on the eastern part of the Central Business District. Washington Avenue, from a pedestrian viewpoint, provides access from the residential area to the north of Touhy and St. Paul of the Cross Church on the south side of Northwest Highway.
- Parking. Each of the office properties provides off-street parking. Some properties provide an adequate amount of parking and meet the requirements of the Zoning Ordinance. Other properties provide a minimal amount of parking and are considered existing non-conforming. The existing buildings were originally constructed using parking requirements that were less restrictive than those required under current zoning.
- Image and appearance. Executive Plaza serves as a gateway into Park Ridge from Chicago. Most of the existing buildings are relatively attractive while some appear quite dated. Most of the parking is provided behind the buildings, and away from street view. Generally, the buildings and properties are well maintained. Two properties along Touhy Avenue are vacant.
- Market potential. The office market in the O’Hare Area has a sizable vacancy rate. There is little demand to construct new office space in this area. With several of the existing buildings in Executive Plaza becoming functionally obsolete, other land uses for this area could be considered. Recent market studies indicate that the residential market in Park Ridge is strong, particularly for multi-family developments near the Uptown area. The retail market also remains strong.
- Current plans for improvement and development. While there are no formal proposals pending for Executive Plaza, staff has discussed several redevelopment scenarios recently.

### **Improvement and Development Recommendations**

While existing uses may remain for the immediate future, it is recommended that Executive Plaza be redeveloped primarily for multiple family residential purposes, with the potential for some office and retail uses incorporated with the residential uses. This development scenario would also include a range of senior housing options.

Redevelopment of this area would probably happen in stages. Therefore, it is important that new buildings be compatible with existing structures in and around Executive Plaza.

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### Land-Use

- Multi-family residential uses should be located throughout Executive Plaza. Both townhouses and condominiums would be appropriate in this area.
- Senior residential uses are most desirable. A wide-range of housing types should be provided from independent living to assisted living and nursing care, along with accessory uses to service the residents, such as doctors offices, pharmacy and service retail.
- Commercial uses, only as part of a mixed use project, should be located along Washington Avenue, which might include retail and service uses oriented to the residents of the immediate neighborhood. Office uses, including medical and professional offices, could also be located along Washington Avenue, Touhy Avenue and Northwest Highway.
- One story, “stand alone commercial uses” should be discouraged.
- Automobile oriented retail uses, such as those with drive-ins, should be restricted.

### Existing Sites and Buildings

- As noted above, the redevelopment of the Executive Plaza is anticipated to occur in stages, with several of the existing buildings to remain as new construction is undertaken. These buildings and grounds should be maintained in good condition.
- The existing properties in Executive Plaza have many mature trees. These trees should be preserved.
- There are no buildings in Executive Plaza that are considered historic structures needing preservation.

### Building Height

- New buildings along Touhy Avenue, Washington Avenue, Northwest Highway and the eastern border of Executive Plaza near the single family houses on Berry Parkway, should be two to three stories in height.
- Buildings on interior portions of the site could be up to four or five stories in height, provided there is a significant setback from all property lines and there is a significant community benefit/public amenity, including but not limited to open space or senior housing.
- One story buildings should not be allowed.

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### Building and Site Design

- New buildings should be developed with consideration toward the scale and the character of the existing buildings in Executive Plaza.
- New buildings should be setback from surrounding streets and setbacks should be consistent along each block front. A setback along these streets of 25 feet is appropriate due to the more urban, transitional nature of this area.
- If retail uses are provided along Washington Avenue, a smaller building setback could be allowed.
- Residential densities should not exceed those permitted in the Zoning Ordinance.
- New buildings should be positioned at the front setback line and should generally occupy the full width of the building envelope in order to maintain a “building wall.”
- The existing 35 foot setback along the eastern edge of Executive Plaza, adjacent to the single family residences on Berry Parkway should be maintained.
- Masonry building materials should be encouraged.

### Parking

- Parking for residential uses should be located below grade (or substantially below grade). Dedicated guest parking may be provided at grade so long as the parking is adequately screened.
- Parking should be located behind buildings and in the interior portions of the block. Parking in front and corner side yards should not be allowed.
- Parking and service loading areas should be screened from view along sidewalks, roadways and neighboring properties through the use of low masonry walls and evergreen landscaping.

### Pedestrian Amenities

- The sidewalks along Touhy Avenue should be improved to make them more “pedestrian friendly.”
- The streets adjacent to Executive Plaza are heavily traveled and the uses from this site generate significant amounts of vehicular traffic. In redeveloping this area, careful consideration should be given to pedestrian safety.

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- Pedestrian connections should be improved along all streets to better link this area with the Uptown shopping area and surrounding residential areas.
- A pedestrian connection with Uptown Target Area 3 should be considered.
- Gateway design treatments are recommended for the intersections of Touhy and Washington Avenues, and Washington Avenue and Northwest Highway to announce entry into the Uptown Area. These areas should include seating areas and landscaping.

#### Circulation

- Access points to Executive Plaza should be minimized to avoid traffic conflicts with the heavily traveled Touhy Avenue and Northwest Highway.
- Consideration should be given to a vehicular connection with Target Area 3, to the west along Washington Avenue.

#### Open Space

- Landscaped open spaces should be maintained and enhanced along the eastern edge of the area to serve as a buffer.
- Pedestrian parks/open spaces are encouraged at the intersections in conjunction with the gateway features.
- Streetscape improvements along Touhy and Washington Avenues and Northwest Highway should be encouraged to beautify the area and link it with surrounding areas, particularly with Uptown. This would also make the streets more “pedestrian friendly.”

#### Illustrative Plans

- The existing land uses of both the Executive Plaza and the surrounding area is illustrated by the Existing Land Use Map. This is attached.
- A Development Framework Plan is attached. This illustrates the key development principals that should be taken into consideration when redeveloping Executive Plaza.
- Two illustrative plans for improving and developing Executive Plaza are attached and are consistent with the guidelines and recommendations presented above.
  - Illustrative Plan #1 shows how this area could be redeveloped in stages. The partial redevelopment includes the properties just east of Washington

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Avenue, while the total redevelopment includes all the properties in Executive Plaza.

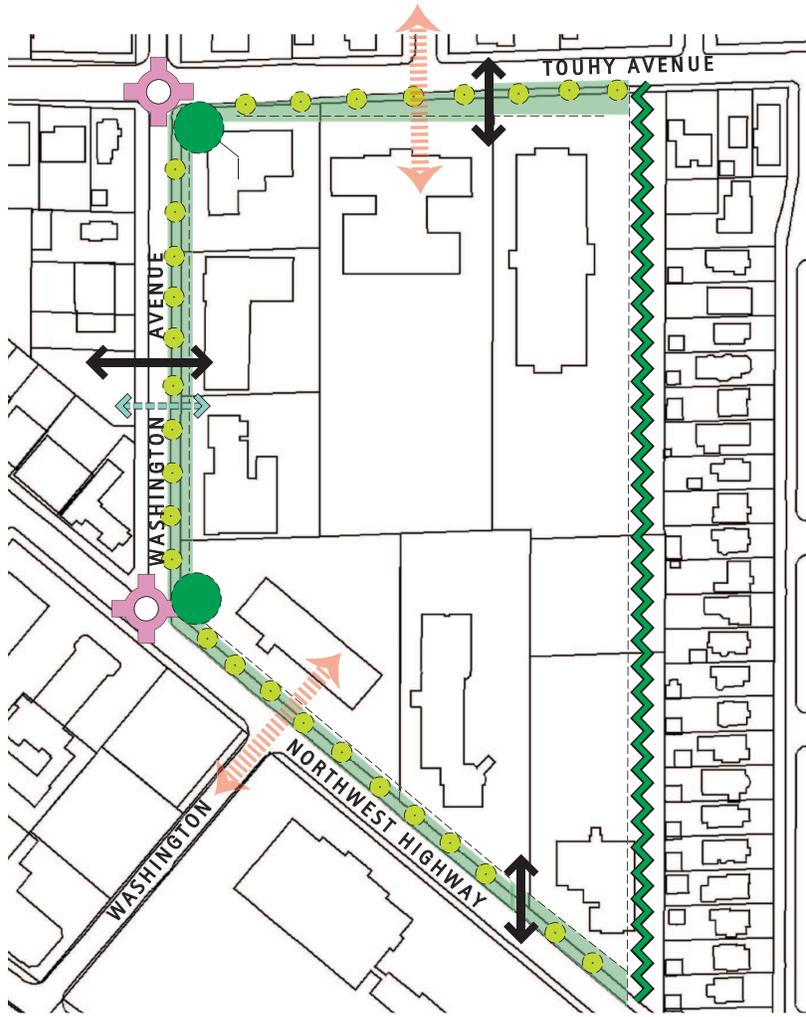
- Illustrative Plan #2 shows a redevelopment that includes both the Executive Plaza and the block to the west, also known as Target Area 3 in the Uptown Plan.
- It should be emphasized that these plans are for illustrative purposes only, and are not intended to limit or constrain final design solutions for this area. The illustrative plans should also not be considered as development solutions for the redevelopment of Executive Plaza.



**Executive Office Plaza**  
Existing Uses

**Legend**

- Study Area
- U.S. Highway
- Major Roadway
- Vehicular Site Access Point
- Railroad
- Streetscape - Pedestrian Oriented Character
- Streetscape - Vehicular Oriented Character
- Existing Office/Service
- Existing Business/Mixed-Use
- Existing Institutional Campus
- Existing Traffic Signal



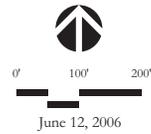
**Executive Office Plaza**  
Development Framework Plan

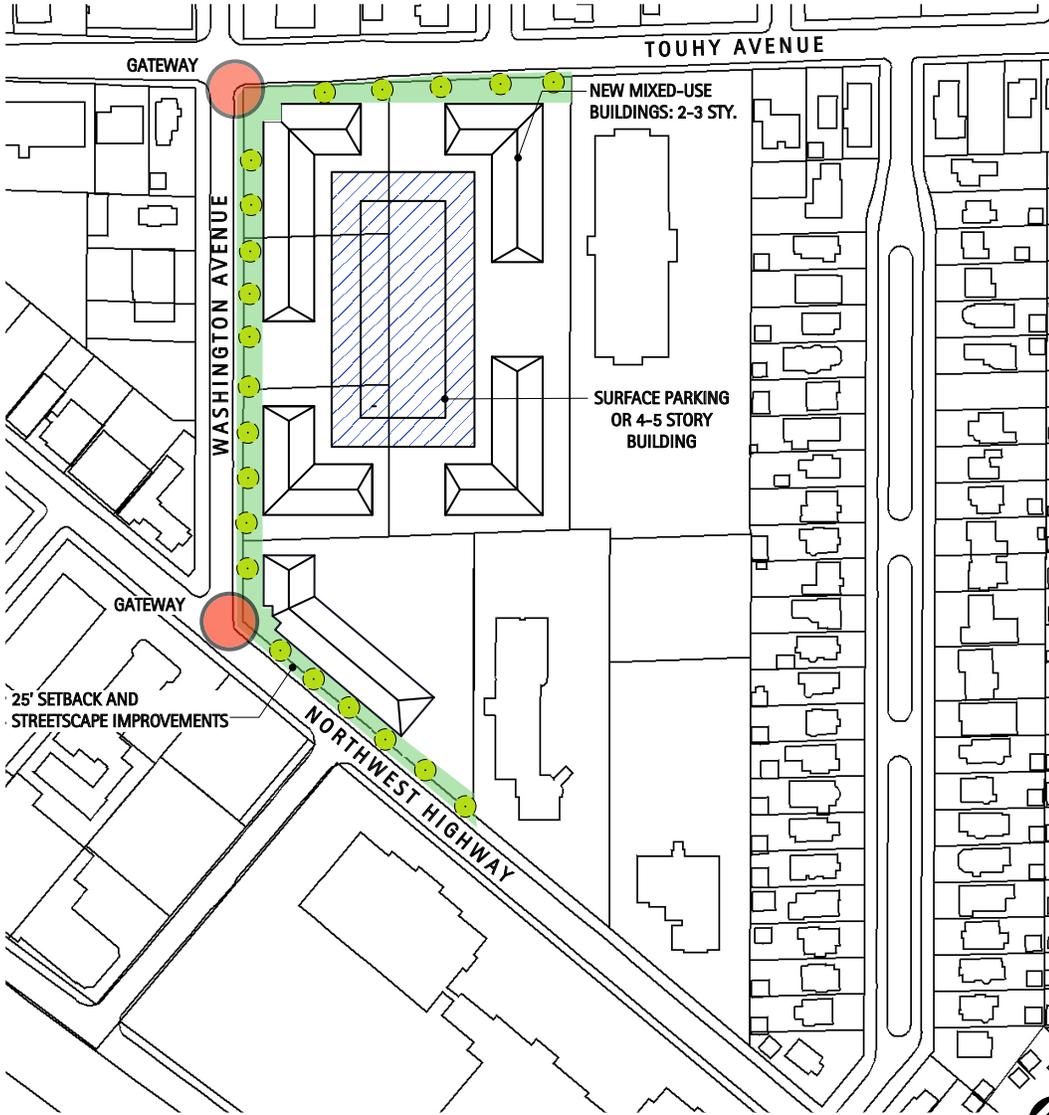
Legend

- Proposed Streetscape Improvements
- Vehicular Access Points
- Pedestrian Access Point
- Potential Vehicular Access Points
- 35' Open Space Buffer
- Pedestrian Oriented Greenspace
- Gateway Area
- 25' Setback Along Street Frontage

The City of Park Ridge, Illinois  
Executive Office Plaza Redevelopment Study  
**Development Framework Plan**

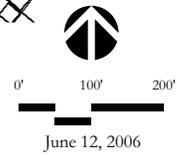
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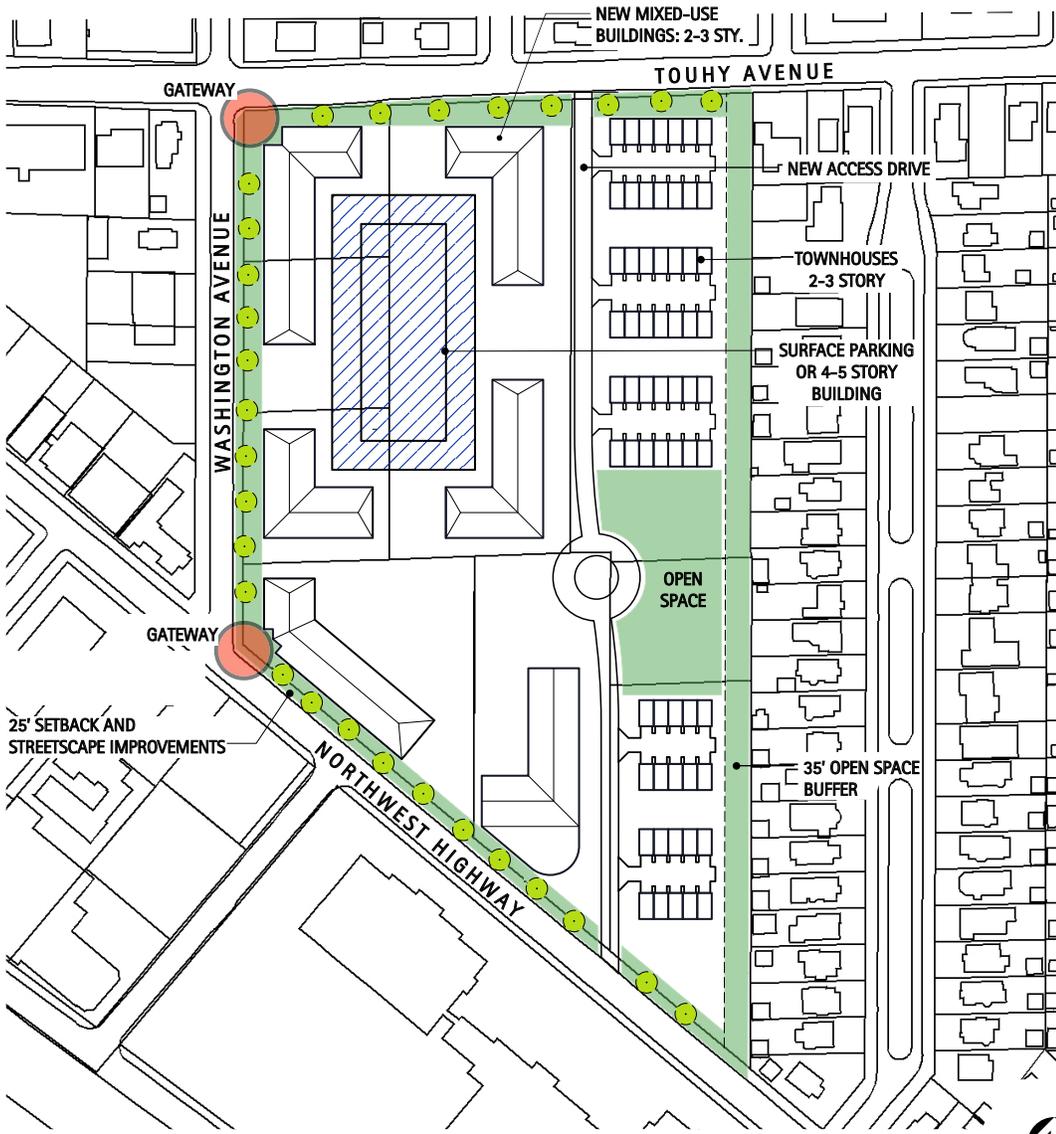




The City of Park Ridge, Illinois  
 Executive Office Plaza Redevelopment Study  
**Illustrative Plan #1 - Partial Redevelopment**

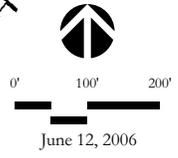
**LAKOTA**  
THE LAKOTA GROUP INC.





The City of Park Ridge, Illinois  
 Executive Office Plaza Redevelopment Study  
**Illustrative Plan #1 - Total Redevelopment**

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City Of Park Ridge, Illinois  
 Executive Office Redevelopment Study

**Illustrative Plan #2**

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