



CITY OF PARK RIDGE
Department of Community Preservation and Development
Building Safety Division

505 Butler Place, Park Ridge, IL 60068 | Tel 847-318-5291 Fax 847-318-6411
www.parkridge.us

Basement Remodeling Guidelines

This handout provides information regarding the application of building permits for basement remodeling as well as required inspections. This handout is for general information purposes only, and is not a substitute for the actual text of codes. If discrepancies arise, the codes shall govern.

PERMIT APPLICATION CHECKLIST

The following documents and information must be provided at the time of submittal for a basement remodeling permit. Failure to submit the appropriate information could result in the application not being accepted or a delay in the issuance of the building permit. ***All documents should be submitted in triplicate.***

_____ **City of Park Ridge Building Permit Application.** Please ensure form is signed by the applicant and has all information filled in, including contractors and their contact information. All contractors must be registered with the City. This permit application can be found on line at: <http://www.parkridge.us/assets/1/Documents/Permit%20Application%202010.pdf>

_____ **Letter of intent /scope of work** Submit description of details of proposed demolition, construction and/or installation.

_____ **Construction documents (plans).** Submit plans drawn to scale, on sheets at least 8-1/2 x 11 inches, and of sufficient clarity to indicate location, nature and extent of proposed work, and that illustrate conformance with codes. (See illustration and notes on “drawings required” below)

- NOTE: Depending on complexity of project, plans may need to be prepared by a licensed designed professional.
- All must be the same scale; scale shall be a minimum of 1/8” per foot
- Label names of all rooms.
- Show proposed plumbing and HVAC. Show mechanical equipment (furnace, hot water tank, etc.)
- Show existing and any new proposed electric panels and size of service, e.g. 200 amp
- Label height of basement ceilings.
- Indicate ALL items to be removed with dashed lines and notes.

_____ **Cover sheet with index of drawings, applicable codes and certification (if applicable) statement by licensed design professional.**

_____ **Demolition plan.**

_____ **Plat of Survey (if applicable, i.e. new or enlarged emergency escape window wells or stairs to basement).** Submit the most recent Plat of Survey prepared for the property. The following information must be indicated and/or annotated on the survey (a separate scaled site plan may also be submitted):

- Location and dimensions of proposed window wells or stairs
- Minimum distances from the proposed window wells or stairs
- Minimum distance/dimension from principal structure
- Location of easements
- See Section 11.4(s)3 of Zoning Ordinance for additional information on window wells:
https://library.municode.com/il/park_ridge/codes/zoning_ordinance?nodeId=S11SIDES_T_11.4ACBUSTUS

_____ **Certification of Plat Accuracy.** Along with the Plat of Survey submit one of the two following certifications:

- **Property Owner's Certification of Present Accuracy of Attached Survey.** This certifies that the survey submitted with the application accurately depicts the current conditions on the property. See:
<http://www.parkridge.us/assets/1/Documents/AffidavitSurvey.pdf>
OR
- **Property Owner's Certification Regarding Attached Survey.** This must be submitted if changes to the property, e.g. addition of patio, enlargement of driveway, have been made since the date of the survey. Such additions should be annotated on the survey. Failure to accurately reflect the conditions on the property could result in delay in the permit being issued or stop-work orders being issued after work starts. See:
<http://www.parkridge.us/assets/1/Documents/AffidavitSurvey2.pdf>

_____ **Letter of intent from plumbing company** on plumbing company's letter head (if plumbing work is proposed.)

GENERAL GUIDELINES

- Minimum basement heights required per IRC 2015, R305. Minimum habitable spaces in basement shall be 7 feet. Minimum non habitable shall be 6ft 8inch including bathrooms.
- All doors and windows must comply with 2015 International Energy Conservation Code.
- Draftstopping shall be provided with approved materials in accordance with 2015 International Residential Code Section R302.12. In combustible construction where there is usable space both above and below the concealed space of a floor-ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 square feet. Draftstopping shall divide the concealed space into approximately equal areas.

- Each appliance shall be provided with adequate combustible air. Mechanical rooms may require vents at the top and bottom of wall/door to obtain combustible air from the common space.
- All wood in contact with the concrete shall be pressure treated.
- All new drywall installed shall be 5/8-inch thick.
- Basement walls shall have an R-15 continuous insulation on the interior or exterior of the home or an R-19 cavity insulation value.

ADDITIONAL GUIDELINES FOR BASEMENT REMODELING

Egress

- IRC 2015 requires two exits out of *finished* basement. One means of egress can be the stairs going up to the main level of the home
- Basements shall have not less than one operable emergency escape and rescue opening. The emergency egress, whether a window or door, must open to the outside. For more info see IRC 2015 Section R310. Where basements contain one or more sleeping rooms, an emergency escape and rescue opening shall be required in each sleeping room but shall not be required in adjoining areas of the basement.
- Emergency escape and rescue openings shall open directly into a public way, or to a *yard* or court that opens to a public way.
- For emergency egress windows, the window well shall be a min. of 3'x3' (Only one allowed in each side yard). The windows shall be with minimum clear dimensions as follows: 5.7 square feet (24" MIN. high by 34" MIN. wide) OR (MIN. 20" wide, 41" Min High).
- All window wells shall have heavy-duty non-lockable covers per the City Amendment with a sill no greater than 44 inches above the floor. The egress window shall be maintained accessible with a permanent ladder. See IRC for more details.

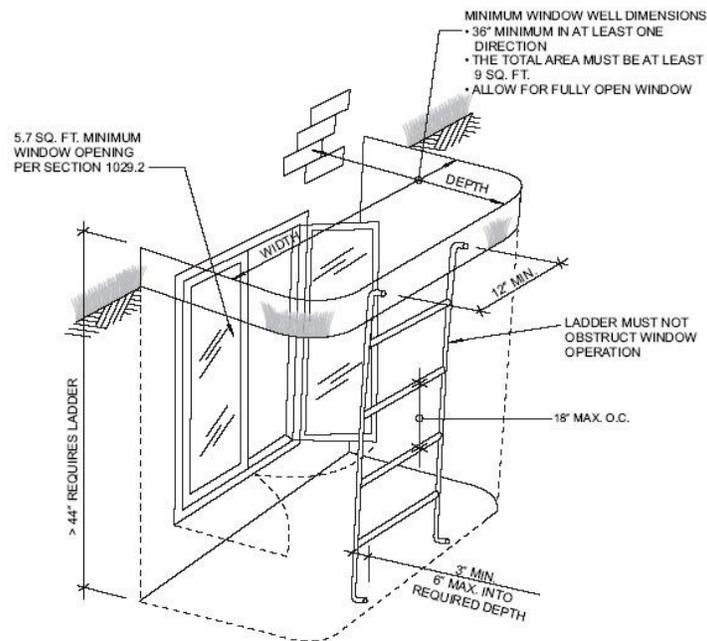


FIGURE 1: EMERGENCY EGRESS WINDOW

Alarms

- Hardwired, interconnected smoke alarm is required at the common area and in each bedroom.
- CO alarm detector required in hallway next to bedroom, in mechanical room, and in basement.
- Label smoke alarms and CO detectors.

Stairs

- Handrails and Guard per IRC are required with four or more risers. Handrail height shall be 34-38". A 3' x 3' landing is required at all exit doors.
- Stair dimensions: Width at least three feet; risers no greater than 7-¾ inches; Treads at least 10 inches; guardrails at least 36 inches high.
- Gypsum board, minimum of 5/8 inches thick, is required on the underside of the stairs per Park Ridge Municipal Code.
- Enclosed accessible space under stairs shall have walls and soffits protected on the enclosed side with 5/8"-inch gypsum board. (Park Ridge Municipal Code 15-2-3)
- Interior stairways must meet two-hour fire resistance rating.

Electrical/Lighting

- Electric service may require an upgrade due to increased habitable basement as follows: >1,500sf = 200 amp, >3,500 sf = 400 amp. See Municipal Code 15-5-4.
- Electric service panel shall have side-to-side and top-bottom clearance of 36 inches.
- Electric outlets shall be arc-fault protected. Electric outlets in the unfinished area shall be GFCI.
- Light fixtures in the closets shall be recessed or fluorescent.
- All recessed lighting being installed shall be IC rated and must meet the 2015 International Energy Conservation Code Section R402.4.5
- 75% of all new lighting must be energy efficient and meet the 2015 International Energy Conservation Code Section R402.4.5
- Bathrooms shall have an exhaust fan to the exterior and GFCI outlets and a dedicated 20amp circuit.
- The HVAC and water heater must have a minimum of 33" X 30" for accessible for service. A luminaire controlled by a switch located at the required passageway opening and a service receptacle outlet and or a GFCI in unfinished areas shall be installed at or near the appliance location.

APPLICABLE CODES

2015 International Energy Conservation Code

2015 International Residential Code

2015 International Mechanical Code

2015 International Fuel Gas Code

2015 International Fire Code

2014 National Electric Code

Illinois State Plumbing Code

City of Park Ridge Municipal and Zoning Codes (https://www.municode.com/library/il/park_ridge)

INSPECTIONS

The type and sequence of inspections will vary on the project. Below are some of the more common inspections required for basement remodeling projects. The list is not exhaustive.

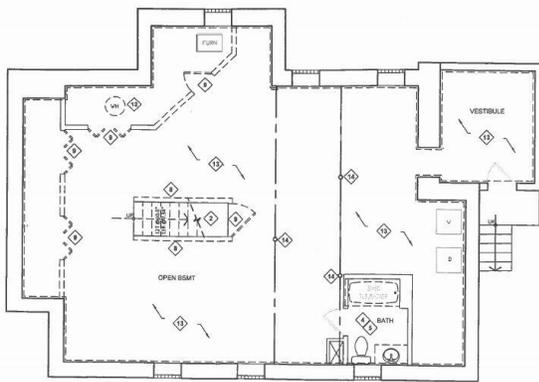
- Structural (rough framing, FS/insulation, final)
- HVAC (rough, hood/duct, furnace, final)
- Electrical (underground, rough, service panel, A/C unit, final)
- Plumbing (water service, rough, drain system, water heater, underground, final)
- Fire (above ceiling, suppression system, final)

Please be sure to call the CP&D Department to arrange the final inspection; otherwise we will be unable to close-out your project. In addition to final inspections, the following are required:

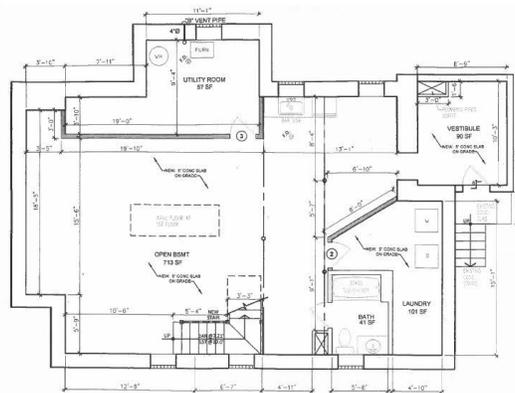
- Construction documents (City-approved site copies) shall be available at all times on the job site. Appliances shall be installed per manufacturer's installation instructions. All manufacturer instructions shall be available to the inspector on all inspections

Inspections can be scheduled by visiting the Community Preservation & Development Department (2nd floor, City Hall) or by calling: 847-318-5291

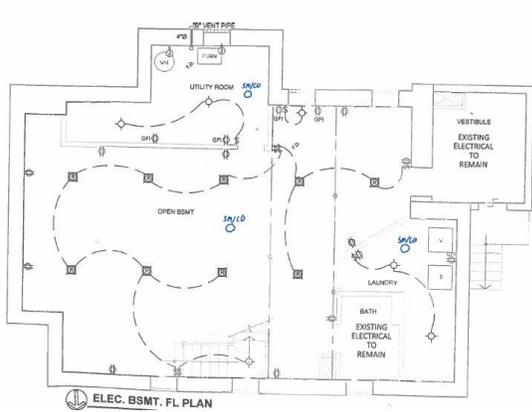
REQUIRED DRAWINGS EXAMPLES (NOT NECESSARILY ALL THAT MUST BE SUBMITTED)



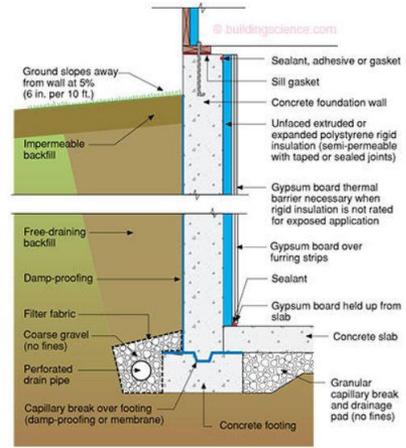
Basement – Existing Floor Plan



Basement – Proposed New Floor Plan to scale



Basement – Electric Proposed



Basement – Wall Detail Proposed