



**CITY OF PARK RIDGE**  
**Department of Community Preservation and Development**  
**Building Safety Division**

505 Butler Place, Park Ridge, IL 60068 | Tel 847-318-5291 Fax 847-318-6411  
[www.parkridge.us](http://www.parkridge.us)

## Deck Guidelines

This handout provides information regarding the application of building permits for decks and the required inspections. This handout is for general information purposes only, and is not a substitute for the actual text of codes. If discrepancies arise, the code shall govern.

### PERMIT APPLICATION CHECKLIST

The following documents and information must be provided at the time of submittal for an accessory structure permit. Failure to submit the appropriate information could result in application not being accepted and/or delay in the issuance of the building permit. ***All documents should be submitted in triplicate.***

\_\_\_\_\_ **City of Park Ridge Building Permit Application.** Please ensure form is signed by the applicant and has all information filled in, including contractors and their contact information. All contractors must be registered with the City. This permit application can be found on line at: <http://www.parkridge.us/assets/1/Documents/Permit%20Application%202010.pdf>

\_\_\_\_\_ **Letter Describing Scope of Work.** Clarify whether this project is to replace an existing deck or construct a new one.

\_\_\_\_\_ **Plat of Survey.** Submit the most recent Plat of Survey prepared for the property. The following information must be indicated and/or annotated on the survey (a separate scaled site plan may also be submitted):

- Location of and dimensions of proposed deck on the lot.
- Minimum distances from the proposed deck to the property's rear and side lot lines.
- Location of easements.

\_\_\_\_\_ **Certification of Plat Accuracy.** Along with the Plat of Survey submit one of the two following certifications:

- **Property Owner's Certification of Present Accuracy of Attached Survey.** This certifies that the survey submitted with the application accurately depicts the current conditions on the property. See: <http://www.parkridge.us/assets/1/Documents/AffidavitSurvey.pdf>

OR

- **Property Owner’s Certification Regarding Attached Survey.** This must be submitted if changes to the property, e.g. addition of patio, enlargement of driveway, have been made since the date of the survey. Such additions should be annotated on the survey. Failure to accurately reflect the conditions on the property could result in delay in the permit being issued or stop-work orders being issued after work starts. See: <http://www.parkridge.us/assets/1/Documents/AffidavitSurvey2.pdf>

\_\_\_\_\_ **Plans.** Plans must be legibly drawn and to the same scale across all plan sheets. Note: *If second revision does not supply the data required, the Building Official may require additional construction documents to be prepared by a registered and licensed design professional. Provide the following:*

- Plan view and elevation views
- All materials, lengths, height/width of structure, and lumber grade and species
- Location of existing electrical service
- Detail of stair and guard
- Detail of concrete pier/footing
- Detail of connection between post and concrete piers/footing
- Detail of connection between post and beam
- Details of connection between joist and beam
- Details of lateral connections of deck to primary structure (house)
- Material descriptions, including exterior materials

\_\_\_\_\_ **Zoning Calculations.** A Zoning Calculations worksheet is available from the CP&D Department and can be found on line. For specific submission requirements for various accessory structures, see guidance below. The worksheet can be found online at: [http://www.parkridge.us/assets/1/Documents/ZONING\\_CALCULATIONS\\_5-07.pdf](http://www.parkridge.us/assets/1/Documents/ZONING_CALCULATIONS_5-07.pdf)

## GUIDELINES FOR DECKS

### General

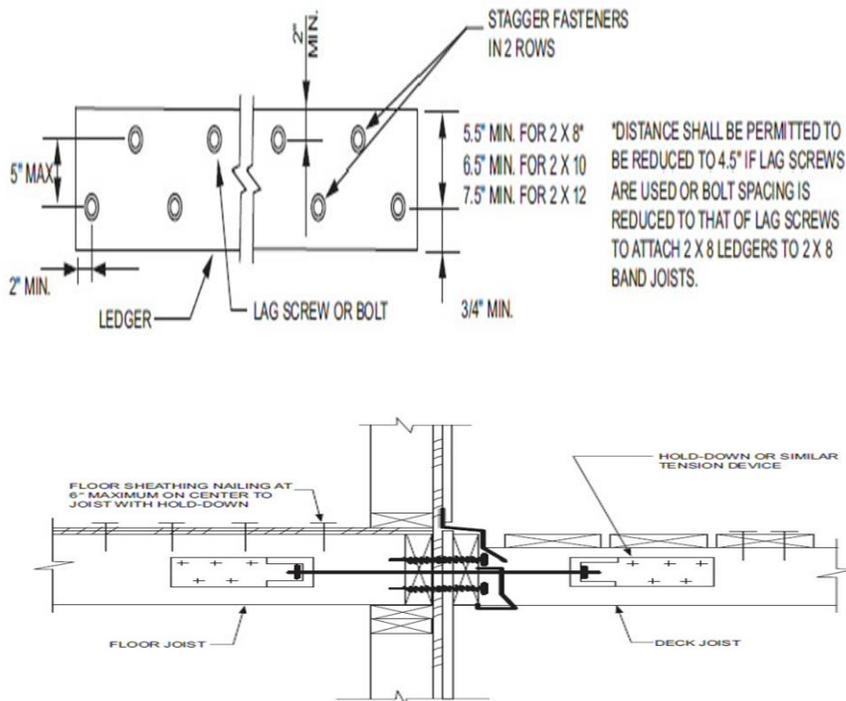
- All lumber shall be pressure-treated for exterior use.
- Minimum loads (in pounds per square foot): Live load, 40 PSF; dead load, 10 PSF; wind load, 13 PSF
- Metal fasteners and hangers shall be G1 85 galvanized, stainless steel, or otherwise compatible with the wood treatment.
- Bolts shall be a minimum of ½-inch diameter
- Beam or top rail splices shall occur at a post or otherwise on adequate bearing.
- Post size is based on the height of the deck floor above finished grade at highest point:
  - up to 8 feet above grade – minimum of 4x4 post;
  - up to 14 feet above grade – minimum of 6x6 post;
  - 2<sup>nd</sup> floor decks not allowed
- Deck beam span lengths must meet the required spans—see IRC, Section R507.6
- Deck joist span lengths must meet the required spans—see IRC, Section R507.5
- Provide cross bracing in the deck joist spans greater than eight feet.

### Stairs and Guardrails

- Guardrails required if surface of deck is more than 30 inches above ground
- Guardrails shall be minimum of 36 inches high.
- Guardrails shall be designed for a 200 pound concentrated load place along the top rail in any direction, at any point—provide details of how this will be accomplished.
- Handrail ends must curve into a wall or terminate into a newel post
- Handrail grip shall be no greater than 1-1/2 inches
- Stairs shall be a minimum of three feet wide
- Risers shall be no greater than 7-3/4 inches. Open risers are permitted provided the opening between treads does not permit the passage of a four-inch diameter sphere.
- Treads shall be no less than 10 inches measured from nosing to nosing
- Steps must have consistent height and depth
- Landings shall be a minimum of 3x3 feet
- All 12x12 stringers shall be anchored to concrete piers; the bottoms of the piers shall be a minimum of 12 inches below grade. Provide details of how this will be accomplished.

### Ledger Boards

- Ledger boards shall be pressure-treated No. 2 or better Southern Pine or Hem-Fir lumber.
- Deck ledger boards shall not be supported on stone or masonry veneer.
- Ledger boards must meet 2015 IRC Table R507.2-R507.2.1. Please provide proposed details of how this will be accomplished.



**FIGURE 502.2.3(1) Deck attachment for lateral loads.** The lateral load connection required by Section R507.1 shall be permitted to be in accordance with Figure R507.2.3 (1) or R507.2.3 (2). Where the lateral load connection is provided in accordance with Figure R507.2.3 (1), hold-down tension devices shall be installed in not less than two locations per deck, within 24 inches of each end of the deck. Each device shall have an allowable stress design capacity of not less than 1,500 pounds (6672 N). Where the lateral load connections are provided in accordance

with Figure R507.2.3(2), the hold-down tension devices shall be installed in not less than four locations per deck, and each device shall have an allowable stress design capacity of not less than 750 pounds (3336 N).

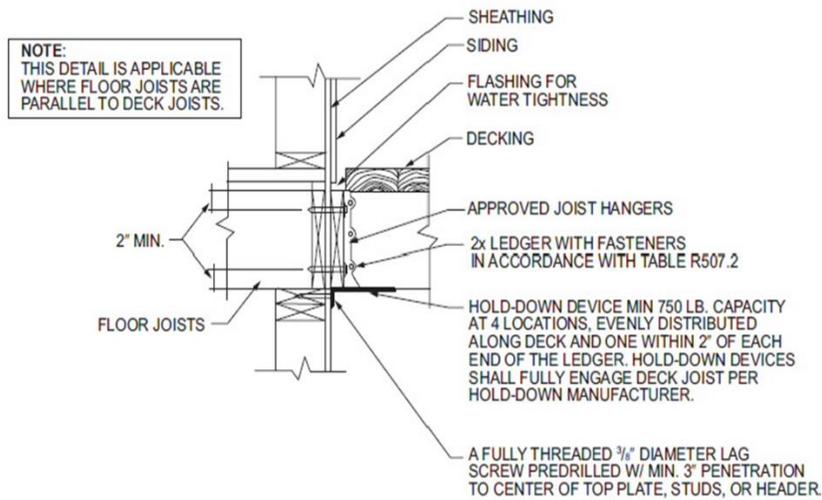


FIGURE 502.2.3(2) Deck attachment for lateral load

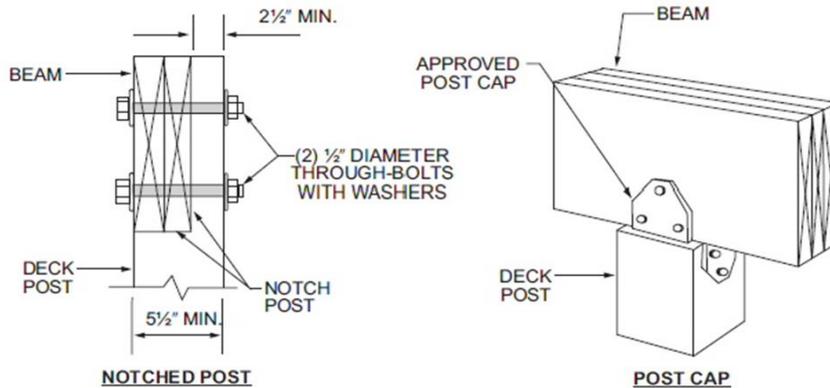


FIGURE R507.7.1 Deck beam to deck post

### Concrete Piers

- All footings/piers shall be concrete with a minimum 2,500 psi compressive strength.
- Concrete piers shall be a minimum of 42 inches below grade.
- Please provide details of the diameter concrete pier.

### Roof Design (If roof over deck is proposed)

- Refer to IRC, Section R801-R909
- Roof dead load minimum - 20 PSF; Roof snow load minimum 30 PSF (Park Ridge Municipal Code Article 15-3-2)
- Ridge Beam: clarify size, direction, grade and species.
- Roof Rafters: clarify size, direction, grade and species.
- Ceiling joists: clarify size, direction, grade and species. Note: they must rest on load bearing walls.

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- Clarify header: clarify size, grade and species header.
- Provide proposed details of the proposed connection between the post and header.
- Specify roof pitch.
- Clarify size, and type of material used for roof decking. Panel clips required, please make note on plans.
- clarify roofing felt paper details, flashing and roof covering

### APPLICABLE CODES

2015 International Residential Code

2014 National Electric Codes

City of Park Ridge Municipal and Zoning Codes (see: [https://www.municode.com/library/il/park\\_ridge](https://www.municode.com/library/il/park_ridge))

### INSPECTIONS

Below are some of the inspections typically required for decks. If the deck includes electrical or plumbing components, additional inspections will be required. The list is not exhaustive.

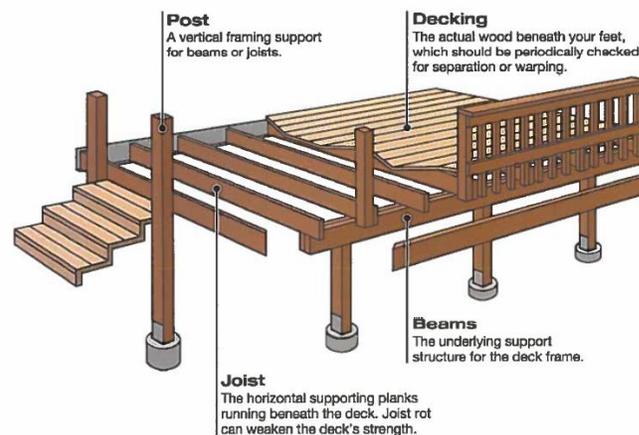
- Pre-pour footing
- Final structural
- Rough and/or final electrical

Please be sure to call the CP&D Department to arrange the final inspection; otherwise we will be unable to close-out your project. In addition to final inspections, the following are required:

- Construction documents (City-approved site copies) shall be available at all times on the job site. Appliances shall be installed per manufacturer's installation instructions. All manufacturer instructions shall be available to the inspector on all inspections

**Inspections can be scheduled by visiting the Community Preservation & Development Department (2<sup>nd</sup> floor, City Hall) or by calling: 847-318-5291**

#### Here's a look at some of the important components of your deck:





**CALL JULIE BEFORE YOU DIG—IT'S A FREE SERVICE**

CALL 811 OR 1-800-892-0123 TO PLACE A LOCATE REQUEST

You may be surprised by what's buried in your yard. That's because most electric, gas, water, sewer and telecommunications companies are delivering utility services underground. To avoid personal injury and damage to those underground lines, state law requires you to contact JULIE before any digging project, regardless of the project size or depth. **Both the call and JULIE's services are free.**

You can prevent injury and avoid damage by following these four important steps:

- Call or Click before you dig
- Wait the required amount of time (*two working days after your phone call*)
- Respect the marks
- Dig with care

For JULIE's free homeowner's guide to digging projects:

[http://www.illinois1call.com/images/pdfs/JULIE-homeowners\\_guide.pdf](http://www.illinois1call.com/images/pdfs/JULIE-homeowners_guide.pdf)