



CITY OF PARK RIDGE
Department of Community Preservation and Development
Building Safety Division

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www.parkridge.us

Detached Garage Guidelines

This handout provides information regarding the application of building permits for detached garages (i.e. garages not connected to a house) as well as required inspections. This handout is for general information purposes only, and is not a substitute for the actual text of codes. If discrepancies arise, the code shall govern.

PERMIT APPLICATION CHECKLIST

The following documents and information must be provided for attached garage permits. Failure to submit the appropriate information could result in delay in the issuance of the building permit.

- ***All documents should be submitted in triplicate.***
- ***Garage drawings must be prepared by a licensed design professional.***

_____ **City of Park Ridge Building Permit Application.** Please ensure form is signed by the applicant and has all information filled in, including the list of contractors. Contractors must be registered with the City of Park Ridge. This permit application can be found on line at:
<http://www.parkridge.us/assets/1/Documents/Permit%20Application%202010.pdf>.

_____ **Plat of Survey.** Submit the most recent Plat of Survey prepared for the property. The following information must be indicated and/or annotated on the survey (a separate scaled site plan may also be submitted):

- Location of proposed detached garage on the lot
- Minimum distances from the proposed detached garage to the property's rear and side lot lines
- Minimum distance/dimension from principal structure
- Location of easements, vacated alleys

_____ **Certification of Plat Accuracy.** Along with the Plat of Survey submit one of the two following certifications:

- **Property Owner's Certification of Present Accuracy of Attached Survey.** This certifies that the survey submitted with the application accurately depicts the current conditions on the property. See:
<http://www.parkridge.us/assets/1/Documents/AffidavitSurvey.pdf>

OR

- **Property Owner's Certification Regarding Attached Survey.** This must be submitted if changes to the property, e.g. addition of patio, enlargement of driveway, have been made since the date of the survey. Such additions should be annotated on the survey. Failure to accurately reflect the conditions on the property could result in delay in the permit being issued or stop-work orders being issued after work starts. See: <http://www.parkridge.us/assets/1/Documents/AffidavitSurvey2.pdf>

Foundation plans.

- Top of foundation height must be indicated.
- Driveway, alley and surrounding grade elevations must be indicated.
- Grade beam or thickened edge concrete construction is permitted provided there is a 5-inch concrete floor poured monolithically with a continuous 12-inch thick by 20-inch wide foundation around the perimeter of the building supporting the structural load of the garage. (Park Ridge Municipal Code 15-10-3)
- Masonry structures shall have a full foundation.
- Footings shall be a minimum of 42 inches below grade. The foundation wall must be a minimum of 8 inches. See Municipal Code 15-2-5.

Floor plan, including electric layout.

- Show overhead wires and service drop in relation to openable windows and clearance— must be a minimum of three feet away.
- The garage door ceiling outlet must be an extended-use outlet feeding off of an accessible wall GFI outlet.
- Service disconnect required and shall be installed at a readily accessible location either outside of a building or inside nearest the point of entrance of the service conductors.
- Receptacles installed in garages shall have ground fault circuit – interrupter protection.

Roof framing plan.

- Roof rafters must meet the International Residential Code 2015 Table R802.5.1 (3) and be designed to support 20- pound dead load.
- Roofs shall not be pitched less than three inches of rise to 12 inches of run.
- Collar ties shall be installed midway between the top plate and ridge at every other common rafter. The collar ties shall be a minimum of 2x4 inches. (Park Ridge Municipal Code Article 15-10-3)
- Joists shall meet the International Residential Code 2015 Table R802.4 (1), uninhabitable attics without storage. Clarify if the ceiling joists are designed to hold limited storage and/or Table R802.4 (2), uninhabitable attics with limited storage.

Wall section.

- The maximum height of the sidewall shall not exceed 10 feet, as measured from the garage floor.
- Provide detail of garage portal frame construction (see diagram below).
- Continuously sheathed portal frame braced wall panels shall be constructed in accordance with Figure R602.10.6.3 and Table R602.10.6.3. The number of continuously sheathed portal frame panels in a single braced wall line shall not exceed four.
- Anchor bolts, with washers, shall be ½-inch diameter, and extend ten inches into concrete.

Exterior elevations (all four sides, drawn to scale).

HVAC.

- Gas fueled heaters in garages shall be a minimum of 18 inches from the floor. (IRC Section M1306.1)
- Gas fueled heaters in garages shall be protected from impact. (IRC Section M1307.3.1)

Zoning Calculation Worksheet and Site Plan. The information listed below may be included on the Plat of Survey, or can be submitted on a separate site plan, drawn to scale. Indicate the following:

- All structures on the lot.
- Distances from corners of all structures on the lot to the nearest property lines.
- Dimensions of all structures on the lot.
- All impervious surfaces on the lot (decks, patios, sidewalks, driveways, etc.).

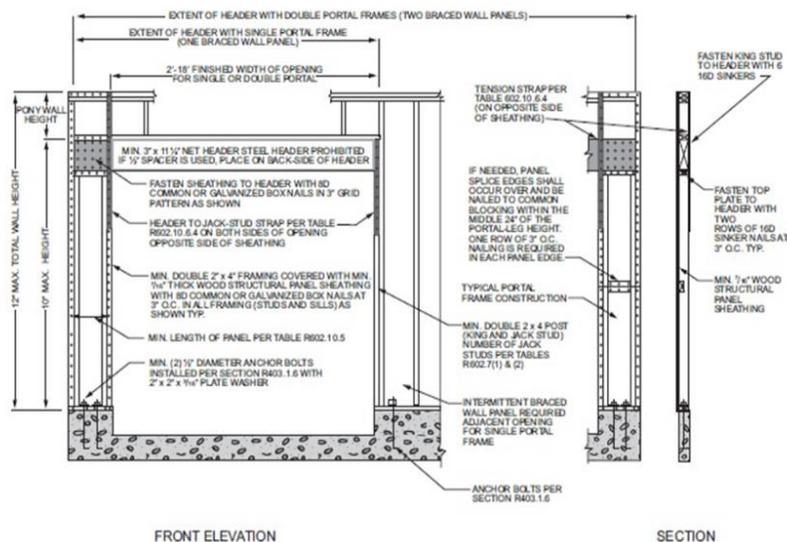


FIGURE R602.10.6.3. METHOD PFG—PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B AND C

ZONING REGULATIONS

The following regulations apply to detached garages. For more guidance, see Section 11.4.F of the Zoning Ordinance at:

https://library.municode.com/il/park_ridge/codes/zoning_ordinance?nodeId=S11SIDEST

- Height shall not exceed 18 feet, as measured from grade to peak of roof
- Detached garage over 15 feet in height must be reviewed and approved by the Appearance Commission
- Garage doors shall not exceed 18 feet in width
- Area shall not exceed 720 square feet
- If access to a public alley is available, the detached garage must be accessed from the alley
- Dwelling units or living space is not allowed
- *Zoning calculations worksheet.* Detached garages count toward open space and maximum lot coverage requirements. See Section 7.3 of the Zoning Ordinance. A Zoning Calculations worksheet is available from the CP&D Department and can be found on line. For specific submission requirements for various accessory structures, see guidance below. The worksheet can be found online at:
http://www.parkridge.us/assets/1/Documents/ZONING_CALCULATIONS_5-07.pdf
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- Portions of detached garages may count against the property's floor area ratio (FAR) thresholds. See Section 7.5.B and C of the Zoning Ordinance.

APPLICABLE CODES

2015 International Residential Code

2014 National Electrical Code

2015 International Fire Code

City of Park Ridge Municipal and Zoning Codes (https://www.municode.com/library/il/park_ridge)

INSPECTIONS

Construction documents (approved site copies) shall be available at all times on the job site. Inspections vary depending on project, but the following are standard for detached garages:

- Pre-pour for slab, footing or foundation
- Rough framing
- FS/insulation
- Rough electrical
- Final electrical
- Drain system
- Final

Construction documents (approved site copies) shall be available at all times on the job site.

Inspections can be scheduled by visiting the Community Preservation & Development Department (2nd floor, City Hall) or by calling: 847-318-5291

ComEd

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Before doing any construction work, contact ComEd at 1-866-NEW-ELEC, and ask for the New Business Group. Set up an onsite meeting with them. Bring your plans and survey. Have ComEd verify clearances and easements to their poles for any new and/or altered structures including garages for permanent or temporary electric service. Download "COMED RED BOOK" for free from the internet and follow instructions. See:

https://www.comed.com/SiteCollectionDocuments/MyAccount/MyService/redbook101007_inorder1.pdf



CALL JULIE BEFORE YOU DIG—IT'S A FREE SERVICE

CALL 811 OR 1-800-892-0123 TO PLACE A LOCATE REQUEST

You may be surprised by what's buried in your yard. That's because most electric, gas, water, sewer and telecommunications companies are delivering utility services underground. To avoid personal injury and damage to those underground lines, state law requires you to contact JULIE before any digging project, regardless of the project size or depth. **Both the call and JULIE's services are free.**

You can prevent injury and avoid damage by following these four important steps:

- Call or Click before you dig
- Wait the required amount of time (*two working days after your phone call*)
- Respect the marks
- Dig with care

Notify JULIE if you are doing any of the following projects: DECKS & PATIOS, TREES & SHRUBS, SHEDS, SIGNS, TENTS, FENCES, MAILBOX POSTS, HOME ADDITIONS, GARDENS, SWIMMING POOLS, LANDSCAPING

For JULIE's free homeowner's guide to digging projects:

http://www.illinois1call.com/images/pdfs/JULIE-homeowners_guide.pdf